

Summit Shadows

“Residents guide to Landscaping”

Addendum for Front Yards¹

Summit Shadows has been master planned to offer residents a distinctive living environment and neighborhood design. The Residents Guide to Landscaping published by Meritage Homes (November 16, 200) is intended to establish continuity between neighbors, yet allow homeowners the flexibility to develop an individual statement within each yard. The Residents Guide contains the following:

- Landscape Design Standard
- Front Yard Design Requirement
- Typical Landscape Design
- Rear Yard Requirements and
- Restricted Plant List

The purpose of this addendum is to clarify certain portions of that guide for current and future residents of Summit Shadows. For homeowners who have not installed front yards, please read these standards carefully. For those who have already installed front yards, please review your compliance. For questions or concerns, please feel free to contact the Summit Shadows Board of Directors through Melinda Duering at the Reedy Group.

Design Standards: Any deviation from these guidelines must have prior Board approval.

1. Two trees minimum are required in every front yard: 1-24" box and 1-15 gallon tree (minimum). Please see list of approved trees.
2. There must be a minimum of 1 shrub per 60 sq. ft. of landscape area with plants distributed throughout the area.
3. Bare gravel driveways require planted shrubs to soften the landscape. Planting shrubs or trees in front of gravel area to screen driveway is acceptable and desired.
4. Turf variety in front yards is NOT limited to midiron sod. However, the Board of Directors must approve any variation from midiron sod.
5. Front yard turf is required to be over-seeded with perennial rye between the months of October and April.

¹Amended Oct. 9, 2001

6. Decomposed granite (crushed granite rock) must be used in all areas that are not covered with turf. Granite color and size must be approved prior to installation.
7. Headers may be used to divide or benefit property edges if made of solid extrusion concrete or brick material cemented together on a solid foundation. No scalloped edging is allowed. No visible edging allowed around individual plants except as required to separate plant/tree from grass area(s). A natural landscape flow is required.
8. Boulders must be buried 1/3 below grade and may not exceed 3' above curb grade. Any deviation must be approved prior to installation.
9. Homeowners may use low voltage lighting to highlight entry walks, or accentuate trees. Colored bulb and lenses are prohibited. Light source shall be adjusted to minimize glare. Pagoda style lights are prohibited to line edge of driveways or streets.
10. Signs, banners, sculptures, driftwood and permanent flagpoles are not allowed. The American and Arizona flags are allowed display on appropriate national holidays and occasions.
11. All plants and trees are to be watered by an underground drip system. All irrigation systems are to be below ground, fully automated, and in compliance with all applicable City of Mesa building codes.
12. The addition of driveways, walkways, walls, awnings, fountains, etc must have prior approval of the Board of Directors.
13. Owners shall, within sixty (60) days of the closing of purchase, cause the front yard landscaping to be fully installed per landscaping requirements Section 4.02 of First Amendment to CCR's. The Board of Directors for special circumstances may grant extensions.

Amended Oct. 9, 2001

16 November 2000

**A Residents Guide
To Landscaping**

Summit Shadows

M e s a , A r i z o n a

**Landscape Design Standards
Front Yard Design Requirements
Typical Landscape Plan
Rear Yard Requirements
Restricted Plant List**



Landscape Design Standards

Summit Shadows has been master planned to offer residents a distinctive living environment and neighborhood design. The Landscape Design Standards are intended to establish continuity between neighbors, yet allow homeowners the flexibility to develop an individual statement within each yard. A master plant list has been developed from which homeowners shall select their individual front yard pallet. Plants within the list have been selected for their attractiveness, hardiness, regional character and relatively low water use.

In order to maintain a consistent community landscape theme, front yards and areas directly visible from the street shall incorporate the restricted plant list. Planting shall be arranged in simplistic random masses that provide medium height foundation planting along each home, accentuate entry courtyards, walkways and proper low sight visibility along streets. Entries should be enhanced with trees, flowering shrubs and accent planting. Whenever possible, tree and foundation shrub variety shall be designed to blend with adjacent residences or adjoining common areas on property lines.

Homeowners and/or Landscape Contractors are required to maintain certain precautions along homes. Plant material shall be located at least 16" from foundations. Irrigation trenches and emitters are to be located to maintain 20" minimum clearance from foundations. Grades along foundations shall slope away from structures, to allow unobstructed drainage and eliminate potential conflicts. Rear yard landscape design is per the discretion of each homeowner as long as it does not visibly or functionally impact adjacent property owners. Vegetation species in rear yards is also flexible with the exception of prohibited plants that include Fruiting Olive, Mulberry and palms over 18' at time of installation.

Front Yard Design

The design and actual installation of front yard landscape is the responsibility of the homeowner within 60 days of occupancy. The following are clarifications and minimum guidelines for front yard landscape design.

Landscape

1. Front yard landscape sets the precedent of the community and shall maintain a standard throughout the community. The following are minimum plant densities:
 - 1-24" box and 1-15 gallon tree (minimum)
 - 1 shrub per 60 sq.ft. landscape area

If palms are used, they must be planted in groups of three (3) along the entry walk area only, in lieu of one (1) front yard tree.

2. Front yard plant material may only be selected from the Restricted Plant List provided within these guidelines.
3. Front yard turf areas are allowable on resident side of driveway only and 3' (minimum) away from side yard property line or face of house. Minimum size of turf area is 350 sq.ft. Spray irrigation and runoff shall not impact public sidewalks or driveways. Turf variety shall be limited to midiron sod. Turf configuration shall have a random, curve-linear shape and tie to sidewalk and/or driveway. Front yard turf is required to be overseeded with perennial rye between the months of October and April.
4. Decomposed granite shall be used to top dress all front yard landscape areas, with at least one application of pre-emergent herbicide. It is the Homeowner's responsibility to keep landscape areas weed free at all times following landscape installation. Decomposed granite shall be ½" minus, 'Sunset Gold', or other similar granite, to be approved by the Architectural & Landscape Control Committee and spread 2" deep over prepared subgrade. Decomposed granite shall be graded uniformly along all walls, walks, and curbs.

5. Turf areas shall be contained by an extruded concrete or side by side brick header. Header shall have long continuous curves and intersect walks or driveways perpendicular. The use of headers as an individual element to divide or benefit property edge is prohibited. Homeowners are required to provide smooth transition with adjacent landscape.
6. Landscape installation shall not obstruct drainage through the lot as established by the Civil Engineer.
7. Grading shall transition smoothly with any adjacent residence or open space.
8. Berming or gently mounding of front yard landscape is recommended but not required. Height of berm shall not exceed 24" above established engineered grade. Shape of berms shall be smooth and random with variable side slopes (5:1 - 8:1) feathered to blend into adjacent grade condition.
9. Homeowner assumes liability to any disturbance along foundations, waterproofing to the house or any perimeter walls.
10. Construction shall be completely contained within each lot unless otherwise approved by homebuilder and/or the Architectural and Landscape Control Committee.
11. Tree and shrub varieties on garage side of house is encouraged to match adjacent neighbor if pre-existing.
12. Shrub and groundcover varieties shall be clustered in random solid massings. Refer to sample landscape layout plan within this guideline.
13. Locate plants away from driveway curbs and walks (30" minimum) to minimize long term maintenance requirements and allow plants to maintain natural character
14. Select plants for alternating seasons of display and color. (6 varieties maximum per front yard design)
15. Homeowner to select low shrub/groundcover along driveway and street frontages to maintain site visibility. Plants exceeding 2'-0" in mature height shall be located at least 8'-0" back from public sidewalks or curb.
16. Boulders may be incorporated into the landscape design, however shall be clustered and limited to surface select granite type. Boulders shall be clustered with varied sizes, buried 1/3 below grade and incorporated with grades to mimic a natural outcropping. Boulders may not exceed 3'

in height (above street curb) and shall have a natural oval character that is compatible with specified decomposed granite. Colored, pit-run rock and lava rock are strictly prohibited.

17. The use of river rock for unfunctional decorative swales is strictly prohibited.
18. The use of polyethylene film is prohibited below granite.
19. Homeowner may use low voltage lighting to highlight entry walks, or accentuate trees. Colored bulbs and lenses are prohibited. Light source shall be adjusted to minimize glare onto adjacent properties or streets. Pagoda style lights are prohibited to line edge of driveways or streets.
20. Ornamentation such as driftwood, skulls, wagon wheels, flagpoles, sculptures, etc. are not permitted in front yards.
21. Special design features such as low walls, trellis, water features upgraded driveway, front yard walks, or other structures are encouraged and must be approved in advance by the Architectural and Landscape Control Committee. Accent walls cannot exceed 36" and must be finished to match house.
22. The use of seasonal annual color or potted plants is encouraged along entry walks or patios.

Irrigation

With an average rainfall of less than nine inches, plant material requires a supplemental irrigation system to sustain plant life yet preserve our precious water supply. Homeowners are required to install an automatic irrigation system compatible with front yard designs. Time clocks should be cycled for efficient deep watering. Turf areas (if used) shall have spray irrigation with 100% head to head coverage, designed to minimize overspray onto any pavement or granite area.

All supplemental plants shall be watered by an underground drip system to provide slow, deep watering. The following are specific irrigation requirements:

1. Irrigation equipment shall be located in an inconspicuous location out of view from public streets.
2. Controllers shall be located on side yards and be painted to match house.
3. Turf valves shall have flow controls and be concealed in planting (outside of grass areas).
4. Drip tubing shall be buried a minimum of 12" below grade and on uphill side of plant.
5. Verify sleeves under driveway and walks, installed by homebuilder.
6. Turf spray heads shall have adjustable arc and radius to minimize over spray.
7. Backflow prevention assembly must be installed per City of Mesa local codes. (Anti-siphon valves are not allowed)
8. Organize irrigation valves so plants with similar watering requirements are watered together.
9. All front yard valve boxes shall be **tan** in color.

Rear Yard Landscape Requirements

Homeowners are solely responsible for rear yard landscape. Landscape on those lots with view fencing must be installed within 90 days of occupancy. Residents will be provided complete rear yard enclosure walls and gates from the homebuilder. Rear yard landscape is defined as all areas within the wall enclosure. Irrigation water supply and electrical service is to be fed from the house services, per local code. Homeowners are responsible to maintain grading and drainage away from the house as provided by the builder.

Rear yard landscape design shall not compromise views or impact from adjacent residences or open space. Perimeter fencing shall not be disturbed by construction or installation of rear yard improvements. Turf areas are not allowed within 24" of homes or perimeter walls.

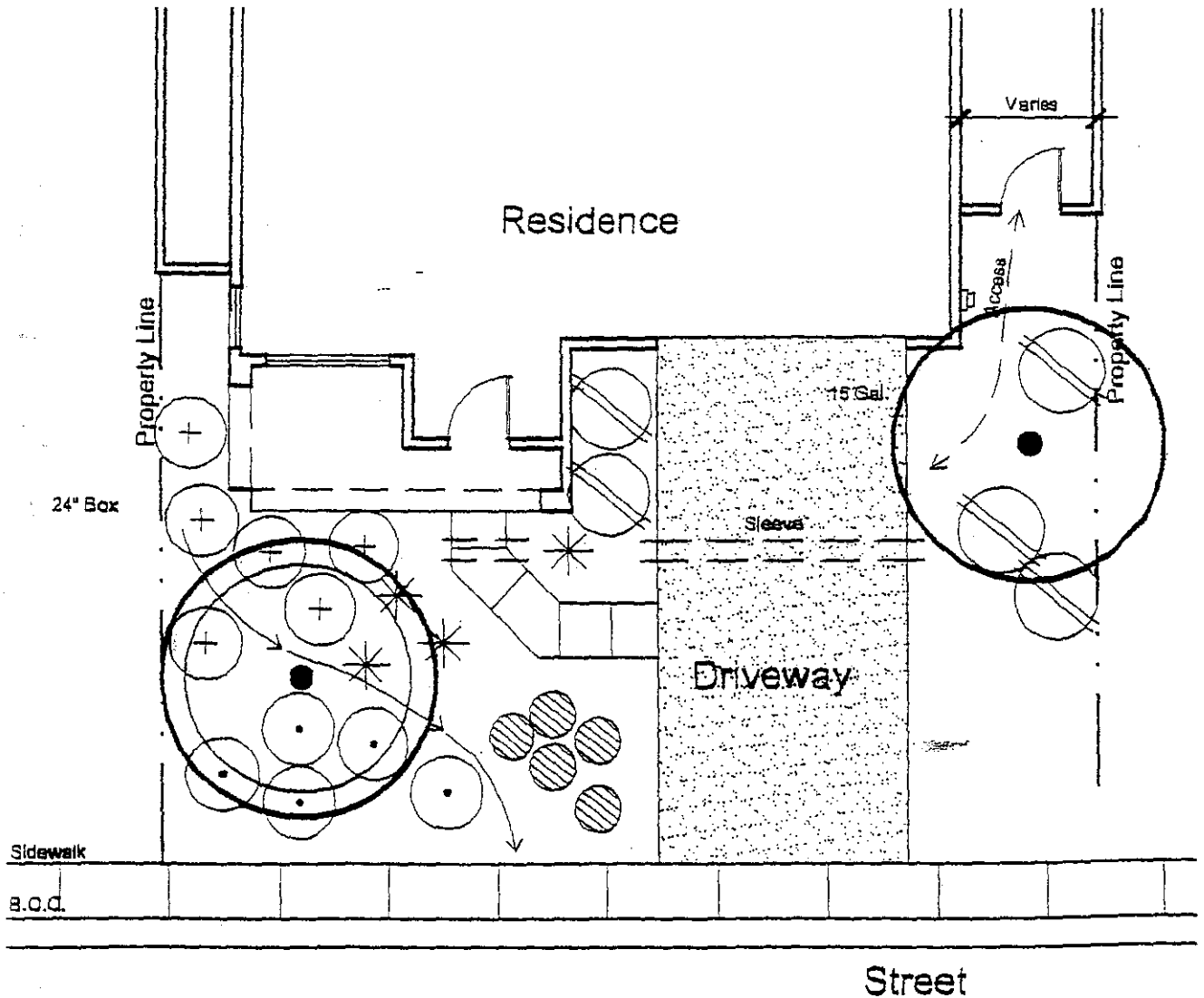
Residential lots with view fence adjacent to common areas shall verify compatibility with adjacent open space. Pool equipment shall be located away from view fence and screened to eliminate visibility.

Any permanent structures, 48" and above, shall be submitted to the Summit Shadows Community Association prior to construction. The Summit Shadows Community Association will review and provide written comments back to the Homeowner within thirty (30) days. The review will evaluate for any conflicts with specific lot conditions or impact on adjacent areas. The following are general items that should be incorporated into all rear yard design:

1. Rear yards are required to have a minimum of two (2) – 15 gallon trees. Homeowners are encouraged to upgrade size and or quantity based on actual lot size, orientation and design intent.
2. Shrubs or groundcover to be planted at a minimum density of one (1) plant per 100 sq.ft. of landscape area.
3. Homeowners are responsible to maintain drainage along enclosed rear yards established by the Civil Engineer.
4. Homeowners are not allowed to backwash pools or water features through walls into open space.

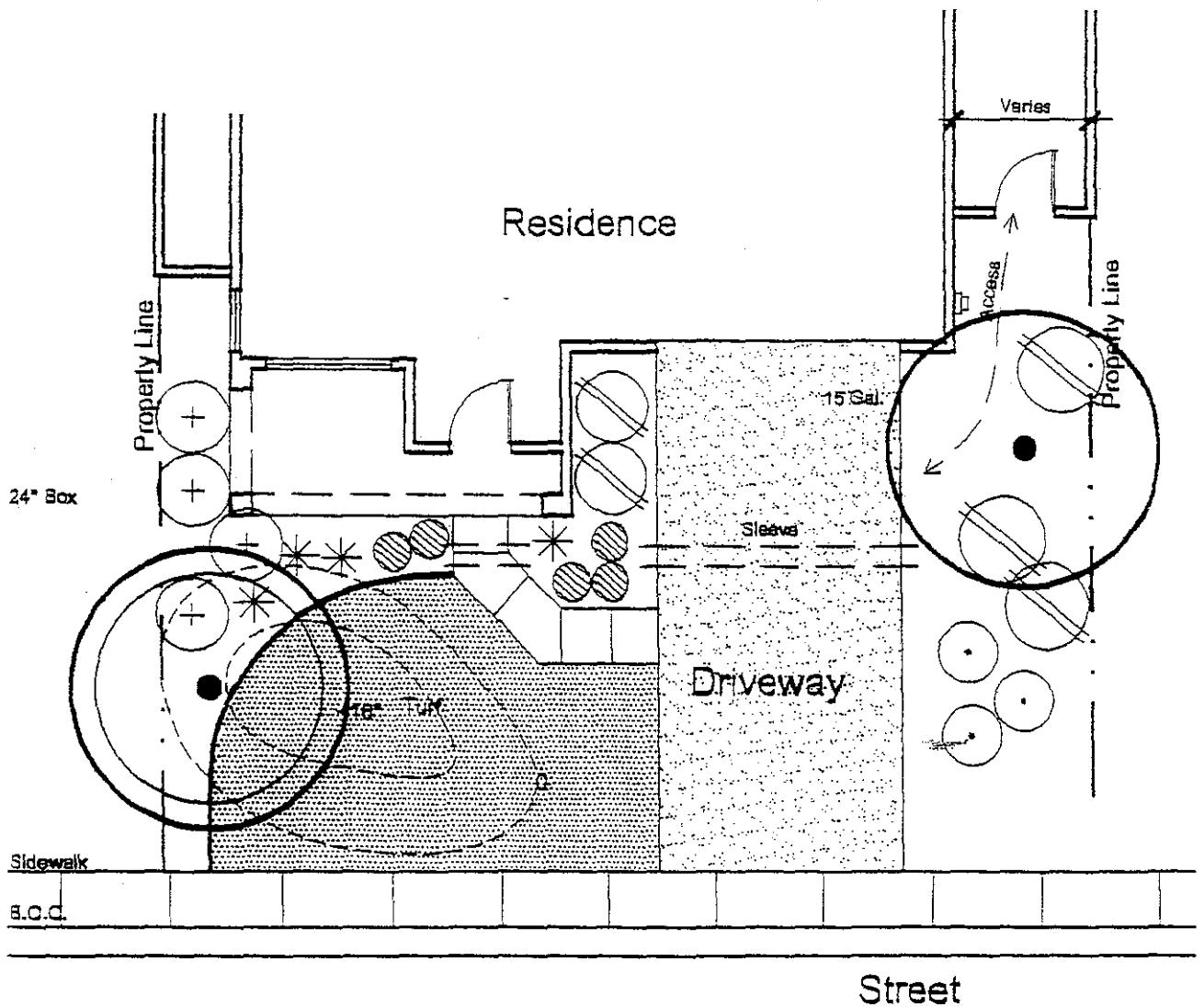
5. Mounding or raised planters in rear yards may not exceed 12" above grade without prior approval of the Architectural and Landscape Control Committee. All mounds or raised grade to be 4' away from side or rear yard fencing. Homeowners are responsible to confirm on-site drainage in rear yard design.
6. Homeowner assumes liability for any disturbance along foundations or any permanent walls. No improvements shall touch these structures without prior approval.
7. Construction shall be completely contained within each lot unless otherwise approved by the Desert Summit Community Association.
8. Decomposed granite, (1½" depth min.), shall be used to topdress all rear yard landscape areas and at least one application of pre-emergent shall be applied.
9. Plant pallet is required to blend with the overall project and adjacent open space when view fence is existing. Plant varieties are per Homeowner's discretion with the following exceptions.
 - a. No palms with a clear trunk height of 18' (or more) upon time of installation.
 - b. Fruiting Olive and Mulberry trees are prohibited.
 - c. Saguaro over 16' in height upon installation are prohibited.
 - d. Fountain Grass is prohibited due to the plant's invasive character.
 - e. Common Bermuda is prohibited due to its invasive character.
10. Site lighting must be focused within rear yards and must be shielded from adjacent lots or open space.
11. Maintain accessibility through rear yard to side yard gate.
12. All irrigation equipment for rear yards must be installed within enclosed walls and must not be visible through view fence, if one exists.
13. Irrigation design and installation is to satisfy all local codes.
14. Maintenance of the irrigation system is the responsibility of the Homeowner.
15. No trenching within 18" of foundation, structures or site walls.
16. Sleeve all irrigation lines under pavement or through structures.

- Frontyard tree requirements include
 - (1) 24" box
 - (1) -15 Gal. shade tree
- Shrubs and groundcovers from select list, 1 per 60 Sq. Ft.
- 2" deep, 1/2" minus 'Walker Gold' decomposed granite to all landscape areas.
- Mounding (if used) to be gentle, not to exceed 24" high. Maintain drainage per Civil plans.
- Underground irrigation system tied to residential service, sleeve under hardscape.



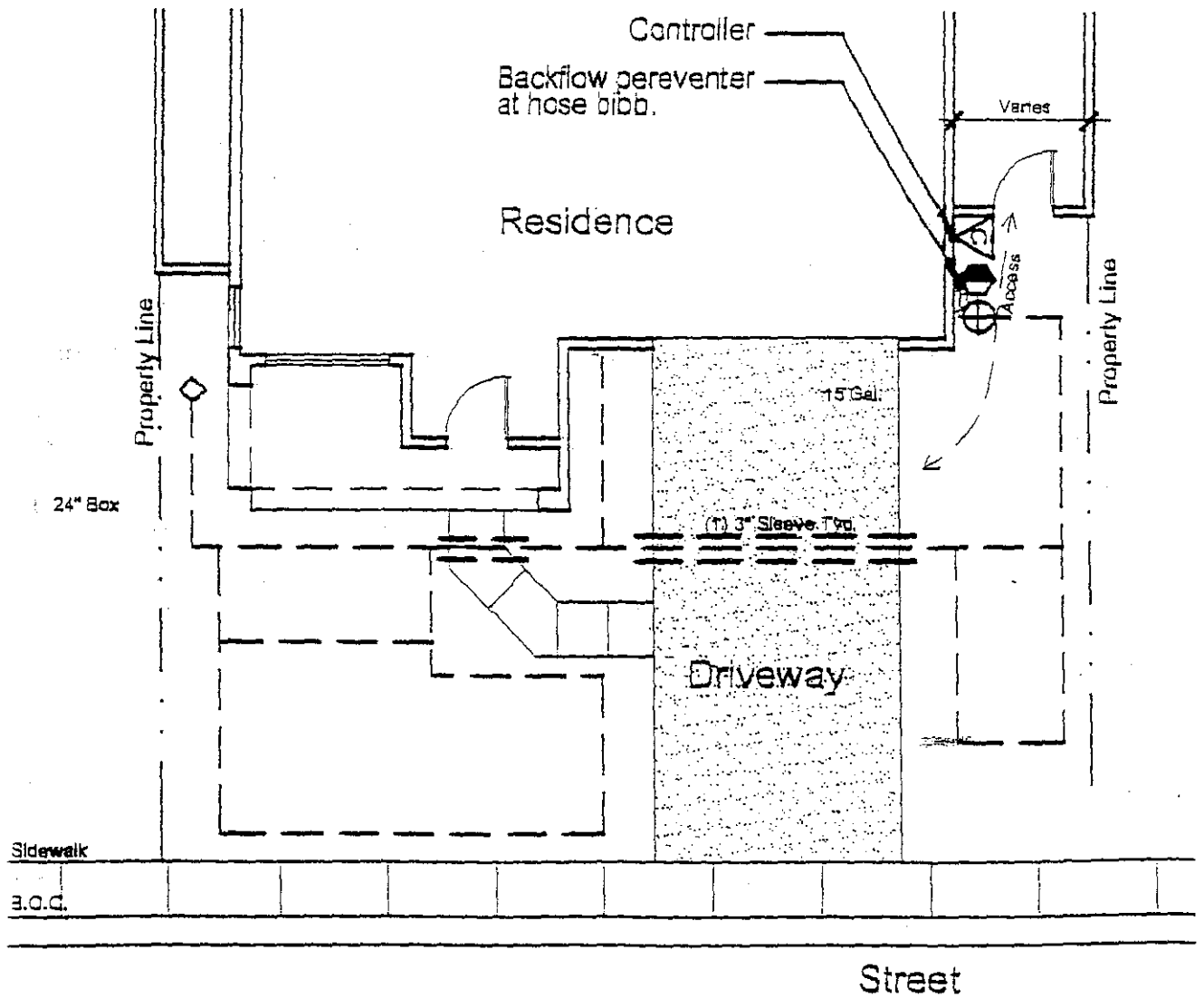
Non-Turf Option
 Typical Frontyard Landscape Plan

- Frontyard tree requirements include
 - (1) 24" box
 - (1)-15 Gal. shade tree
- Shrubs and groundcovers from select list, 1 per 60 Sq. Ft.
- 2" deep, 1/2" minus 'Walker Gold' decomposed granite to all landscape areas.
- Turf areas (when used) to be contained by concrete or brick header (or approved equal)
- Mounding (if used) to be gentle, not to exceed 24" high. Maintain drainage per Civil plans.
- Underground irrigation system tied to residential service, sleeve under hardscape.



Turf Option
 Typical Frontyard Landscape Plan

- Controller shall be located on the sideyard adjacent to electrical service.
- Locate backflow preventer at sideyard hose bibb and screen with plant material.
- Locate drip valve on sideyard and screen from view with plant material.
- Install (1) 3" sleeve at driveway and sidewalk crossing.
- Install drip flush valve in 10" round valve box.

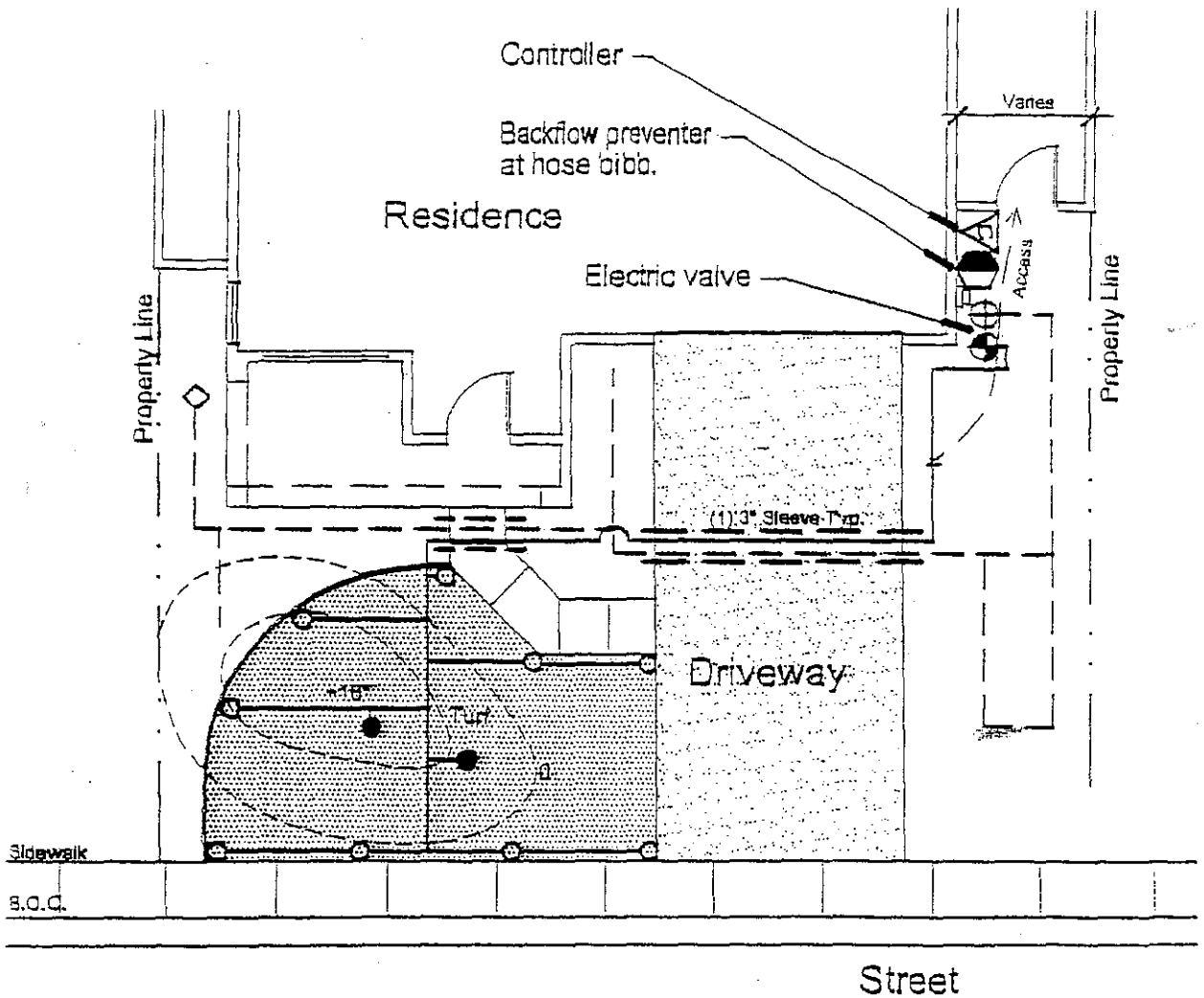


Non-Turf Option

Typical Frontyard Irrigation Plan

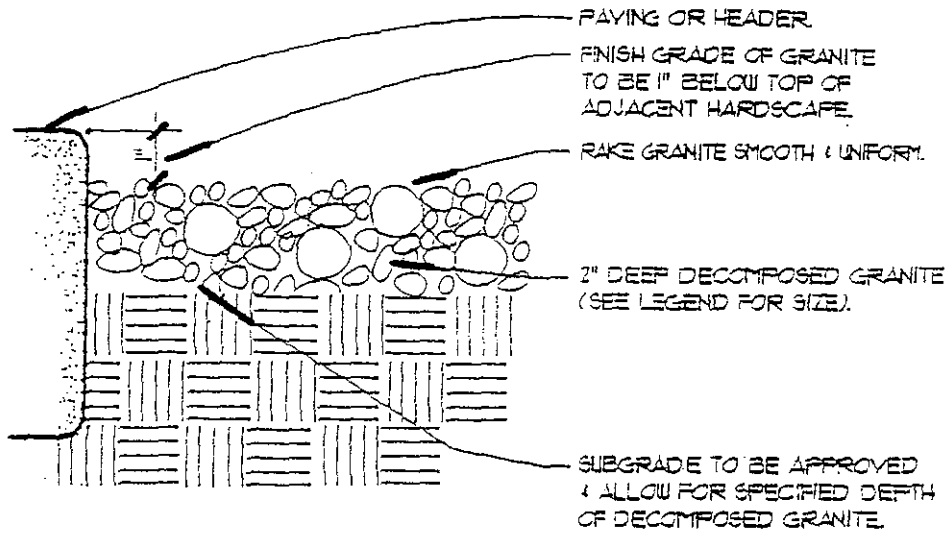
Notes:

- Controller shall be located on the sideyard adjacent to electrical service.
- Locate backflow preventer at sideyard hose bibb and screen with plant material.
- Locate electric valves on sideyard and screen from view with plant material.
- Install (1) 3" sleeve at driveway and sidewalk crossing.
- Install drip flush valve in 10" round valve box.
- Adjust spray heads to avoid overspray on hardscape.



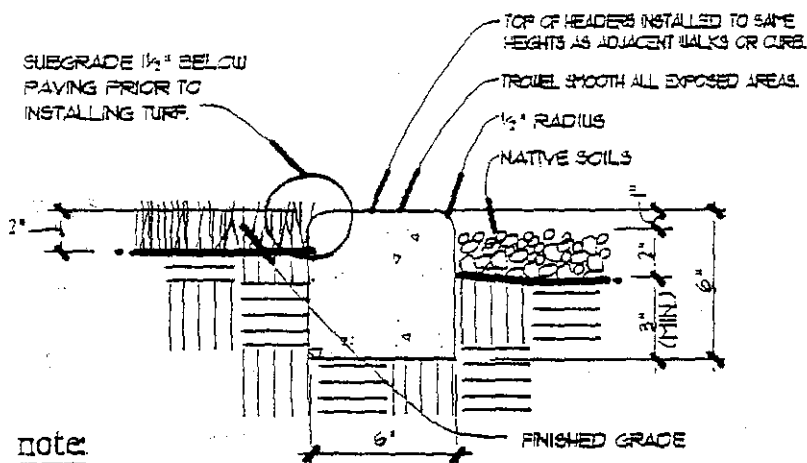
Turf Option

Typical Frontyard Irrigation Plan



- VERIFY GRANITE COLOR/ SIZE WITH OWNER OR ARCHITECT PRIOR TO DELIVERY. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY VARIATIONS.

decomposed granite

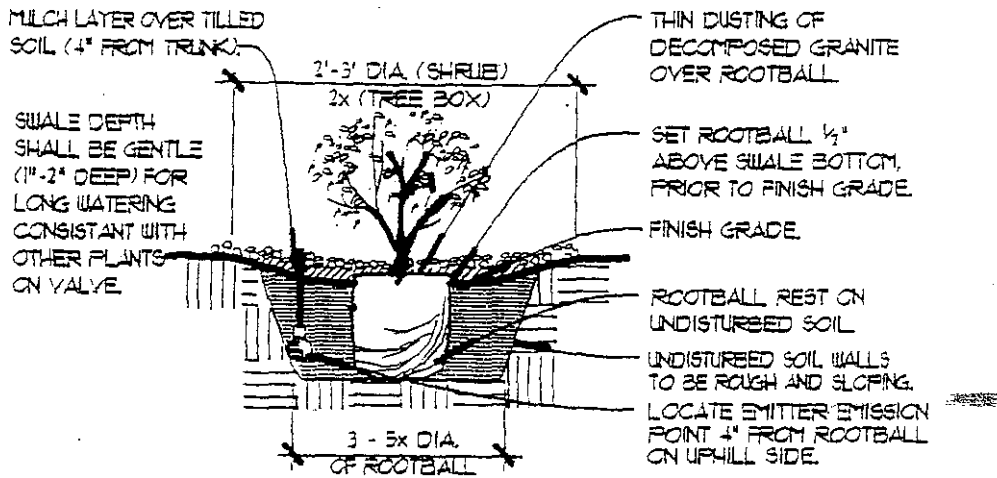


note:

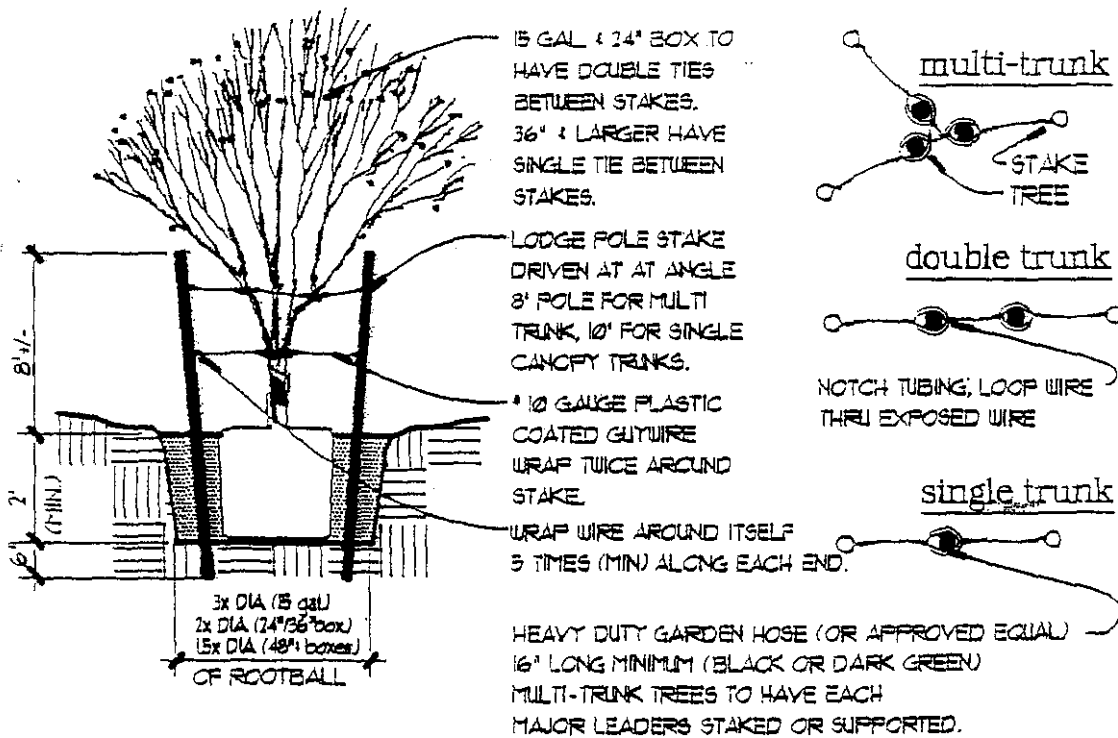
1. LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO APPROVE LAYOUT PRIOR TO POUR.
2. EXCAVATE DEPTH OF HEADER TO BE FLUSH WITH ADJOINING WALKS AND CURBS.
3. CONCRETE TO BE CLASS 'A' (3000 P.S.I.).
4. EXPANSION JOINTS TO BE AT 20'-0" ON CENTER (MAXIMUM).
5. CURB CONTRACTOR TO COMPLY WITH MINIMUM GRADE TOLERANCES, FOR SMOOTH TRANSITION AT ADJACENT GRADE.
6. CURVED HEADERS TO BE SMOOTH, CONTINUOUS CURVES AS NOTED.
7. NOTIFY OWNER'S REPRESENTATIVE OF ANY SITE CONFLICTS THAT WOULD EFFECT THE VISUAL, FUNCTIONAL, OR POSSIBLE HAZARD CAUSED BY INSTALLATION.
8. HEADER SHALL BE 6" UNIFORM WIDTH.
9. ALL SPILLS AND EXCESS WASTE SHALL BE CLEANED UP AND REMOVED FROM SITE BY CURBING CONTRACTOR.
10. VERIFY HEADERS TO NOT OBSTRUCT DRAINAGE FLOW, PROVIDE SWALE DEPRESSION AS REQUIRED.

extruded concrete header

Typical Landscape Detail

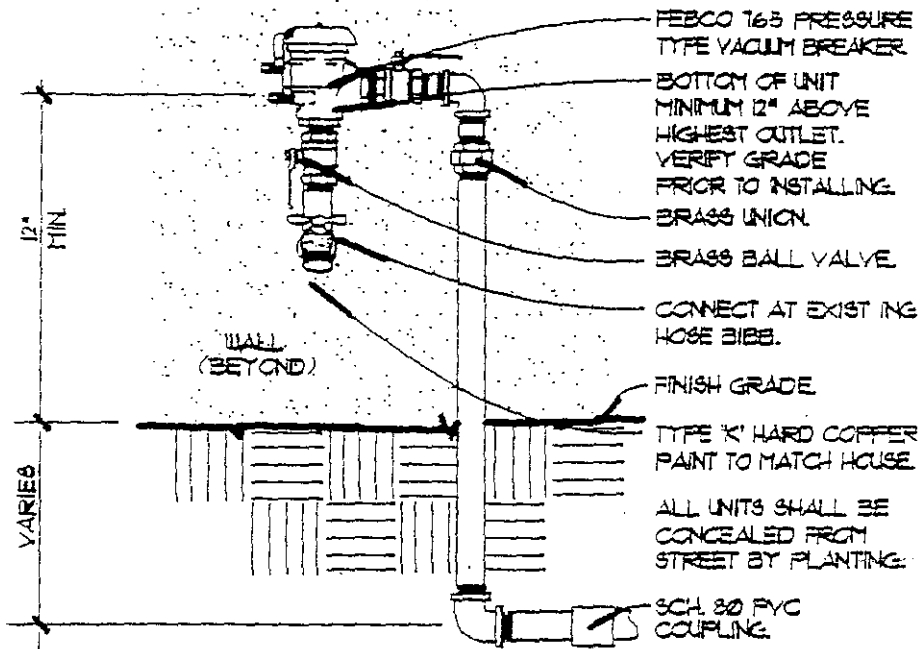


planting swale



tree staking

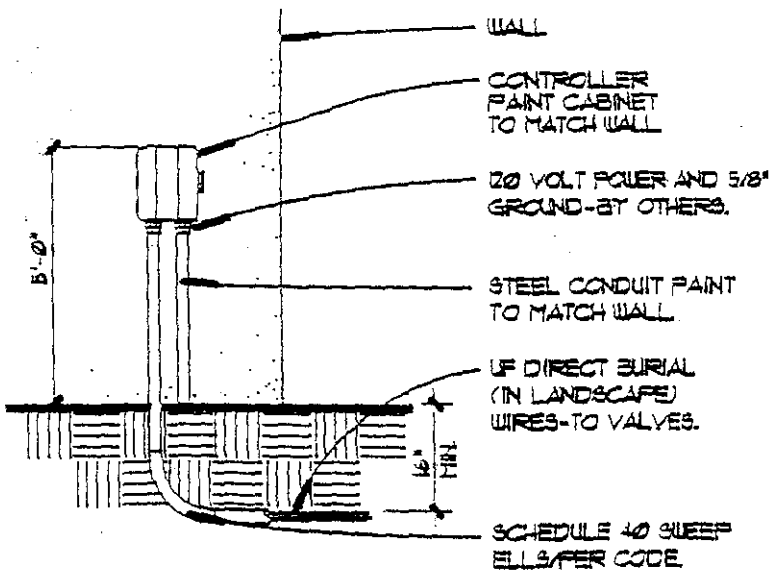
Typical Planting Detail



note:

1. BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED PER ALL LOCAL CODES AND UNIFORM STANDARD DETAILS.
2. ALL PIPE AND FITTINGS SHALL BE TYPE K COPPER AND BRASS UNLESS OTHERWISE NOTED OR IN CONFLICT WITH LOCAL CODES AND STANDARD DETAILS. LOCAL REQUIREMENTS AND CODES SUPERSEDE THESE SPECIFICATIONS.

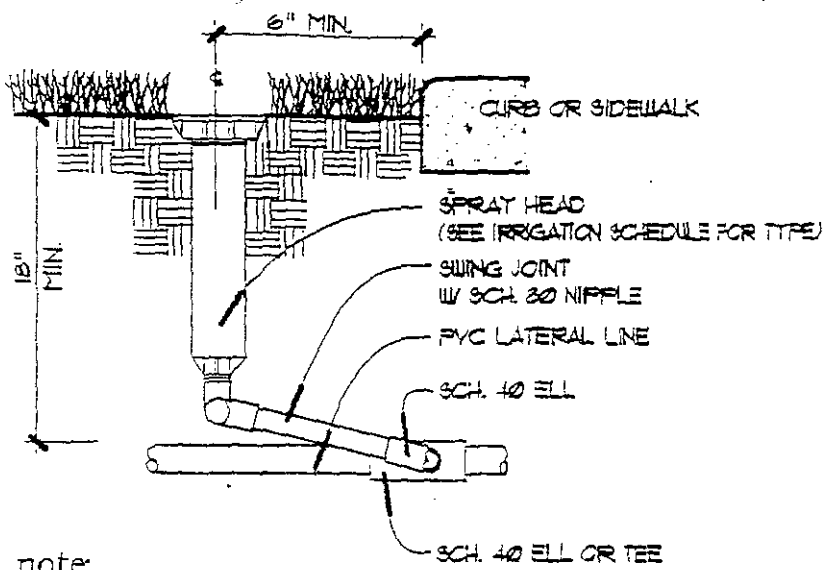
backflow preventer @ hose bibb



- ALL WIRING TO BE INSTALLED PER LOCAL CODE SEE MANUAL FOR MOUNTING INSTRUCTIONS.
- ALL WIRE SHALL BE LOCATED WITHIN CONDUIT PER LOCAL CODE AS NOTED ON ELECTRICAL PLANS.

controller (wall mount)

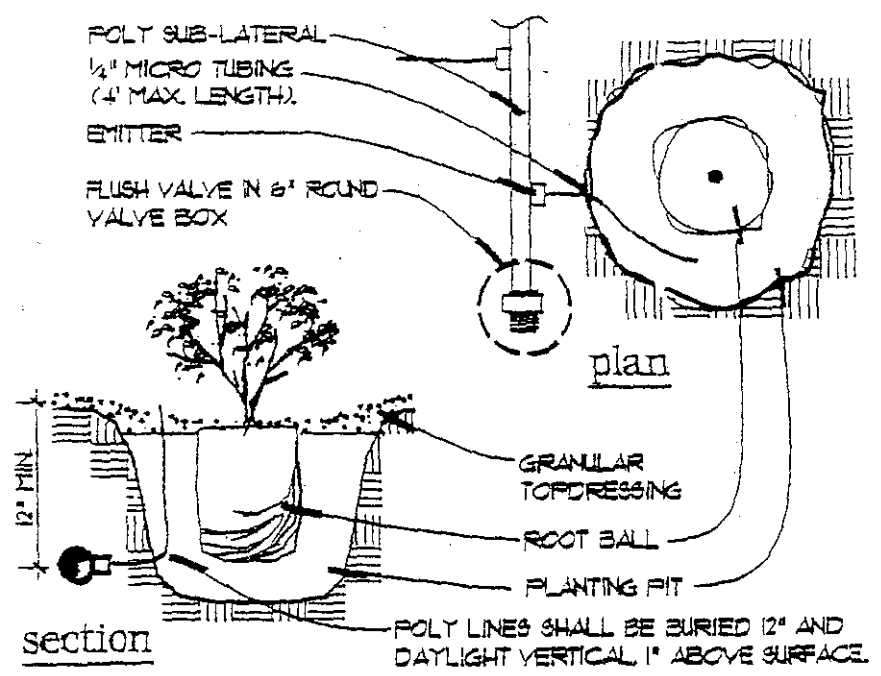
Typical Irrigation Detail



note:

- USE VARIABLE ARC NOZZLES WHEN EDGES CURVE OR BEND.
- CONTRACTOR TO VERIFY SPRAY COVERAGE PRIOR TO SEED OR SOG INSTALLATION.
- CONTRACTOR TO ADJUST HEADS FOR COMPLETE COVERAGE WITHOUT OVERSPRAY AFTER TURF IS ESTABLISHED.

pop-up spray



emitter on poly

Typical Irrigation Detail

Summit Shadows

Front Yard

Selected Plant List

The following is a select list of plant material that homeowners shall select from for front yard landscape design. The homeowner and/or Landscape Contractor shall select plant types that best addresses actual exposure, site condition and individual preferences. Sizes and quantities shall be equal or greater than those shown on the typical front yard plans provided in this document.

BOTANICAL NAME

COMMON NAME

Trees

Acacia salicina	Willow Acacia
Acacia smallii	Sweet Acacia
Arecastrum romanoffzanium	Queen Palm
Buahinia variegata	Purple Orchid Tree
Cercidium floridum	Blue Palo Verde
Citrus varieties	Citrus varieties
Dahlbergia Sissoo	Sissoo Tree
Eucalypus Papuana	Ghost Gum
Ficus nitida	Indian Laurel
Fraxinus velutina 'Rio Grande'	Fantex Ash
Geijera priflora	Australian Willow
Jacaranda mimosifolia	Jacaranda
Olea europaea 'Swan Hill'	Swan Hill Olive
Olneya tesota	Ironwood
Propis chilensis	Chilean Mesquite
Prosopis velutina (juliflora)	Velvet Mesquite
Pyrus calleryana 'Bradford II'	Bradford Pear
Quercus virginiana	Live Oak
Rhus lancea	African Sumac
Thevetia peruviana	Lucky Nut
Ulmus parvifolia v. 'Sempervirens'	Evergreen Elm
Washingtonia robusta	Mexican Fan Palm (15' max.)

Cacti/Accents

Agave species	Agave
Asclepias subulata	Desert Milkweed
Dasyliiron varieties	Desert Spoon Varieties
Hesperaloe varieties	Yucca Varieties
Nolina bigelovii	Beargrass

Shrubs/Groundcover/Vines

Acacia redolens 'D. Carpet'	Desert Carpet Acacia
Agave murphii	Hohokam Agave
Asparagus densiflorus 'Myers'	Foxtail Fern
Baccharis centennial	Dwarf Coyote Bush
Baccharis hybrid 'Starn'	Thompson Baccharis
Baileya multiradiata	Desert Marigold
Bougainvillea 'B. Karst'	Bush Bougainvillea
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra californica	Baja red Fairy Duster
Calliandra eriophylla	Pink Fairy Duster
Carissa grandiflora 'Tuttlei'	Natal Plum
Cassia Oligophylla	Outback Cassia
Cassia phyllodinea	Silvery Cassia
Chamaerops humilis	Mediterranean Fan Palm
Chrysactinia mexicana	Damianita
Convolvulus encorum	Bush Morning Glory
Dalea capitata 'Sierra Gold'	Sierra Gold Dalea
Dalea frutescens 'Sierra Negra'	Black Dalea
Dasyliiron acrotriche	Green Desert Spoon
Dietes bicolor	Fortnight Lily
Dodonaea viscosa	Hopbush
Dyssodia Pentachaeta	Golden Fleece
Encelia farinosa	Brittlebush
Ericameria laricifolia	Turpentine Bush
Erigeron divergens	Spreading Purple Fleabane
Erimophila Spp. 'Valentine'	Valentine Bush
Eriogonum fasciculatum	Flattop Buckwheat
Ficus Pumila	Creeping Fig (Fig Vine)
Hemerocallis	Orange Daylily
Hesperaloe Funifera	Giant Hesperaloe
Hesperaloe parviflora	Red yucca
Hibiscus coulteri	Desert Rose-mallow

Shrubs/Groundcover/Vine (Continued)

<i>Hibiscus rosa-sinensis</i>	Red Hibiscus
<i>Hymenoxys acaulis</i>	Angelita Daisy
<i>Lantana camara</i> 'New Gold'	New Gold Lantana
<i>Lantana montevidensis</i>	Purple Lantana
<i>Leucophyllum laevigatum</i>	Chihuahuan Sage
<i>Leucophyllum frutescens</i> 'heavenly'	Heavenly Cloud Texas Sage
<i>Leucophyllum langmaniae</i>	Rio Bravo Texas Sage
<i>Leucophyllum species</i>	Sage Varieties
<i>Ligustrum japonicum</i>	Waxleaf Privet
<i>Mascagnia lilacina</i>	Lavender Orchid Vine
<i>Mascagnia macroptera</i>	Yellow Orchid Vine
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Morea bicolor</i>	Morea Iris
<i>Muhlenbergia rigens</i>	Deer Grass Varieties
<i>Myoporum parviflorum</i>	Myoporum
<i>Myrtus communis</i> 'Microphylla'	Dwarf Myrtle
<i>Nerium oleander</i>	Petite Pink Oleander
<i>Nolina matapensis</i>	Tree Beargrass
<i>Oenothera caespitosa</i>	Evening Primrose
<i>Penstemon eatonii</i>	Firecracker Penstemon
<i>Penstemon palmeri</i>	Palmer's Penstemon
<i>Penstemon parryi</i>	Parry's Penstemon
<i>Penstemon superbus</i>	Superb Penstemon
<i>Pittosporum tobira</i> dwarf	Wheeler's Dwarf Pittosporum
<i>Podranea ricasoliana</i>	Pink Trumpet Vine
<i>Psilostrophe cooperi</i>	Paperflower
<i>Pyracantha fortunea</i>	Pyracantha
<i>Rosa banksiae</i> 'Lutea'	Lady Banks Rose
<i>Rosmarinus officinalis</i>	Trailing Rosemary
<i>Ruellia brittoniana</i> 'Katie'	Ruellia 'Katie'
<i>Ruellia peninsularis</i>	Desert Ruellia
<i>Salvia clevelandii</i>	Chaparral Sage
<i>Salvia coccinia</i>	Cherry Sage
<i>Salvia greggii</i>	Red Salvia
<i>Salvia leucantha</i>	Mexican Bluesage
<i>Simmondsia chinensis</i>	Jojoba
<i>Sphaeralcea ambigua</i>	Desert Globemallow
<i>Stachys coccinea</i>	Texas Betony
<i>Tagetes palmeri</i> (Lemmon)	Mt. Lemmon Marigold

Shrubs/Groundcover/Vine (Continued)

Tecoma stans	Yellow Bells
Tecomaria capensis	Cape Honeysuckle
Trachelospermum jasminoides	Star Jasmine
Tulbaghia violacea	Society Garlic 'Purple'
Vauquelinia californica	Arizona Rosewood
Verbena gooddingii	Goodding's Verbena
Verbena rigida	Sandpaper Verbena
Verbena pulchella	Rock Verbena
Viguiera deltoidea	Goldeneye
Wedelia trilobata	Wedelia
Xylosma Cong. 'Compact'	Compact Xylosoma
Zephyranthus candida	White Rainlily
Zexmenia hispeda	Devils River
Zinna acerosa	Desert Zinnia